



Village of Hill Spring
MUNICIPAL PLANNING COMMISSION
MEETING AGENDA DRAFT

Hill Spring Council Chambers
Tuesday, February 20 2024 6:00 p.m.

1. CALL MPC MEETING TO ORDER
2. ADOPTION OF AGENDA
3. ADOPTION OF MINUTES
 - a.) 2024.01.16
4. DELEGATION
 - a.)
5. ITEM(S) FOR REVIEW:
 - a.) Nov 23 DP.2023.R1.08
6. ADJOURNMENT

VILLAGE OF HILL SPRING

January 16, 2024

The Village of Hill Spring Municipal Planning Commission Meeting was held at the Hill Spring Community Hall on January 16, 2024 commencing at 6:00 p.m.

In attendance: Mayor Davis and Councillors, French, Shideler and Christensen

Absent: Councillor Nish

Officials: CAO, Greg Robinson

CALLED TO ORDER

Mayor Davis called the Municipal Planning Commission (MPC) Meeting to Order at 6:00 p.m.

ADOPTION OF THE AGENDA

2024-01.01

Councillor Shideler **MOVED** to adopt the agenda.

Carried

MINUTES

None Available

ITEMS FOR REVIEW

DP.2023.R1.08

2024-01.02

Councillor Shideler **MOVED** to defer DP.R1.2023.08

In Favor: Davis, French, Shideler

Opposed: Christensen

Carried

ADJOURNMENT

2024-01.03

Mayor Davis **MOVED** to adjourn at 7:07 p.m.

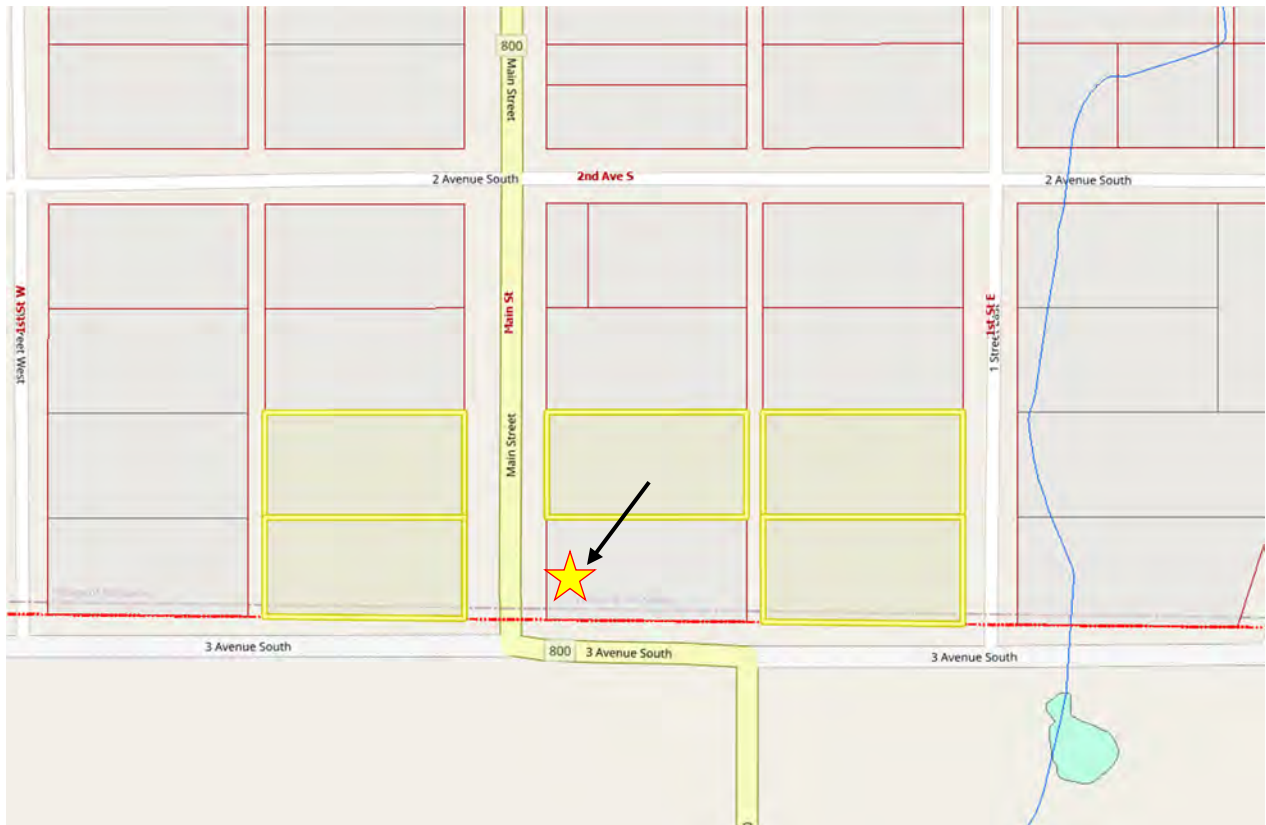
Mayor, Dwight Davis

CAO , Greg Robinson



**Municipal Planning Commission – February 20, 2024
Development Report – DP-2023-R1-08
Agenda Item #1 – Dwelling Group**

LOCATION: 12E – 3rd Ave S [Lot 2 / Block 3 / Plan 370BD] (as noted below)



AFFECTED PERSONS CONTACTED: The above diagram illustrates the affected parties that were contacted (shaded in Yellow) including Cardston County. To date, there have been one written response from Cardston County.

TYPE OF DEVELOPMENT:

THE PURPOSE of the Proposed Development is to establish a new **15'-6" X 60' (930ft²) Manufactured Home** on Lot 2, Block 3, Plan 370BD on a lot zoned R-1 Residential. There is an existing modular ready-to-move home on the E(1/2) of the parcel moved on the property in 2010. There is a single detached dwelling also located in the SW corner that according to the assessment was built prior to 1955. The applicant has applied to demolish the existing single detached dwelling located in the SW corner and replace it with a new **15'-6" X 60' (930ft²) Manufactured Home.**

A "**Manufacture Home**" means your typical single wide trailer with CSA A-277 or Z-240 building labels.

The newly adopted Land Use Bylaw No. 107-277 Section 22.1 "No more than one dwelling shall be constructed or located or caused to be constructed or located on a parcel except as.....(a dwelling group)".



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A “**Dwelling Group**” is an arrangement of structures on a property that would allow for the applicant to arrange and have multiple dwellings on a parcel as a comprehensively planned development.

Both “**Manufactured Home**” and “**Dwelling Group**” are discretionary uses of the MPC in the General Residential (R-1) Land Use District, which is why it is before the MPC.

The Development Permit applicant is seeking the following waivers:

1. The Land Use Bylaw No. 107-277 lists “**Manufactured Home**” and “**Dwelling Group**” as a Discretionary Use – MPC in the General Residential R-1 Land Use District.

CONSIDERATIONS:

1. The Land Use Bylaw No. 107-277 outlines minimum standards for both **Manufactured Home** and **Dwelling Group** as outlined in Schedule 5, Section 5 & 7 (attached). It is up to the discretion of the MPC to determine if the use fits the lot/neighborhood.
2. Consideration should be given for the arrangement/placement of the 2 dwelling structures on one parcel. If subdivision is a desired potential outcome in the future, it appears that a subdivision application to divide the existing lot in half could be approved by the MPC at a later date, that would not affect the required setbacks and minimum parcel sizes to split it into two separate parcels.
3. Consideration should be given to principal dwelling setback requirements which are:
 - a. Minimum Front Setback – 25 ft
 - b. Minimum Secondary Front – 12.5ft
 - c. Minimum Rear Setback – 25ft
 - d. Minimum Side Setback - 12.5ft
4. Consideration for the separation of utilities/servicing so that subdivision can be more easily accomplished at a later date.
5. Off-street parking requirement (two spaces per dwelling unit)



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RECOMMENDATION:

If MPC is to grant an approval to this application, it is recommended that at a minimum the following conditions are attached: (those conditions highlighted in yellow are customized to this application, those in un-highlighted are standard conditions).

Payment of Fees

1. That all outstanding development & permit fees related to this development are to be paid in full.

Location on Lot & Nature of Development

2. The building setbacks are to conform to the **SITE PLAN** submitted and approved as part of the application in compliance with Village of Hill Spring Land Use Bylaw No. 107-277.
3. The nature of the development must comply with the nature of the **BUILDING PLANS** and the principles set forth in the application.
4. That the design, character, and appearance of the external aesthetic will be consistent and compatible with the neighborhood.
5. **The developer must contact Dig Safe (www.clickbeforeyoudig.com) to locate any utility lines prior to construction.**
6. **Any Condition the Village of Hill Spring feels appropriate regarding setbacks.**

Drainage

7. The development **must** be implemented in conjunction with the existing landscaping grades of neighbouring lots. All drainage must either be retained on your property or be directed to the street. The applicant / developer / permit holder is responsible for implementing a drainage plan to deal with the drainage issues that will or may arise from this development. NOTE: if the drainage plan fails to properly address the existing collection of storm drainage on and from this lot as determined by the Village of Hill Spring, an alternate drainage solution is required to be implemented to the satisfaction of the Village at the applicant's / developer's / permit holder's expense.
8. All site grading including, but not limited to, providing material to complete the grading will be the responsibility of the applicant, developer, or holder of this permit.
9. **Any Condition the Village of Hill Spring feels appropriate regarding drainage of stormwater water.**

Village Services

10. The developer is responsible for connecting this new development to municipal water and sewer services and is responsible for any associated costs and fees, including the engineering required for the connections from the house to the mainlines. The developer is also responsible for the cost of installation of any shallow utilities that may be required, including gas, electricity, telephone and cable.
11. **That the services to the new manufactured home be installed separately such that subdivision at a later date is easily accomplished with separate dedicated individual water, sewer, electrical, gas and communication services to both dwellings.**
12. **Any Condition the Village of Hill Spring feels appropriate regarding servicing of water, sewer, electrical, gas, communication.**

Safety Code Permits

13. In the interest of public safety and as required by the Safety Codes Act, the developer is responsible for obtaining a Building Permit and any other applicable safety codes permits (i.e. electrical, plumbing, gas). The Village is an unaccredited agency, so these are processed through applicant's choice of the two ASAC



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companies that serve the area (*Park Enterprises Ltd. or Superior Safety Codes Inc.*). Copies of completed permit services reports ensuring compliance shall be provided to the Village prior to Occupancy.

Driveway

14. That the driveway as constructed to the satisfaction of the Village of Hill Spring.
15. That each dwelling provides a minimum of 2 off-street parking spaces per dwelling unit.
16. Any Condition the Village of Hill Spring feels appropriate regarding access or driveway.

External Finishes

17. All External finishes are to be completed to the satisfaction of the Village of Hill Spring within 1 year of occupancy. External finishes include all siding and anything related to the finished external aesthetic of the house.
18. That the new single wide manufactured home shall be skirted with compatible materials and satisfactorily enclosed to the satisfaction of the Village of Hill Spring.
19. That the wheels, hitches and other running gear shall be removed from the manufactured home immediately after the placement of the home.

Landscaping

20. That the yard area of each lot shall be developed and landscaped.
21. All landscaping is to be completed to the Satisfaction of the Village of Hill Spring within 1 year of occupancy.

House Numbers

22. That proper house numbers will be affixed to the exterior of the development prior to occupancy.

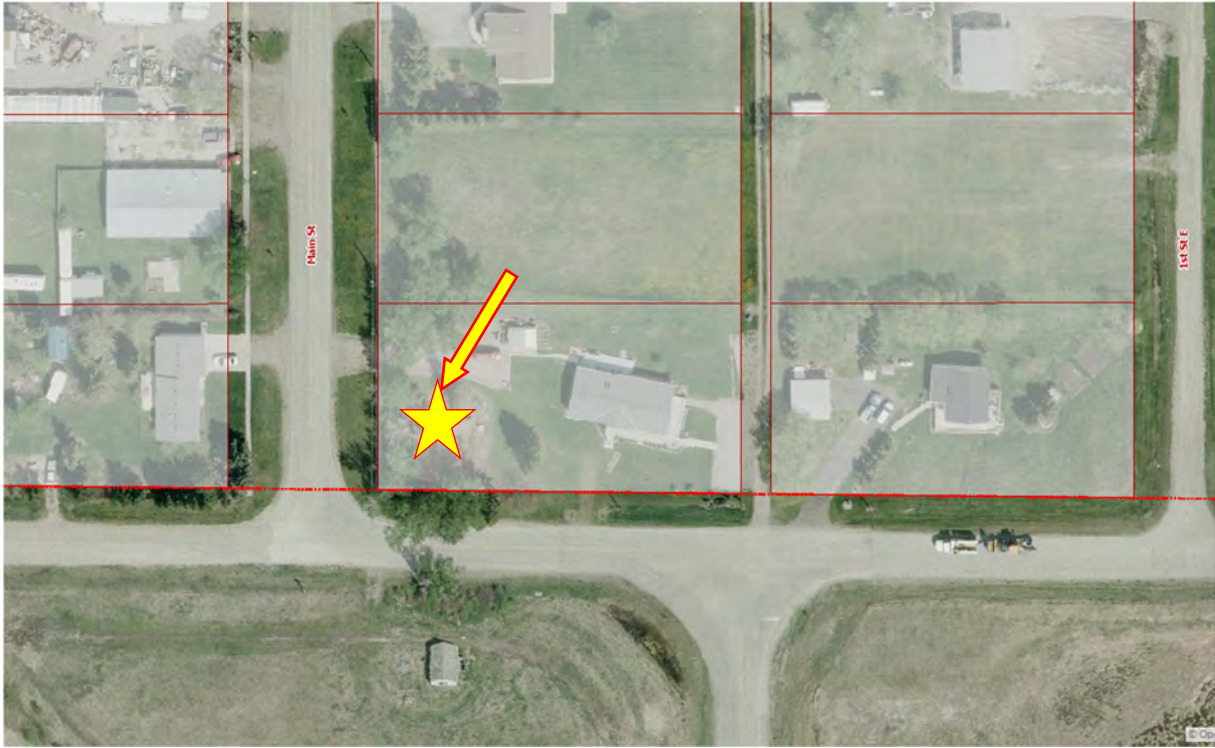
Garbage

23. Refuse and garbage during construction shall be kept in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal. The developer is responsible for all construction waste and garbage, and is financially responsible for the clean-up of the same. **Note: Those who fail this condition may be subject to a development fine, as well as associated clean-up costs.**

Any denial to this application must provide clear planning reasons for the denial. Further, any denial also needs to include reasons why the stated planning concerns are a factor in this specific case.



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(k) is subject to any easement, caveat, restrictive covenant or other registered encumbrance which makes it impossible to build on the site.

21.2 Nothing in this section shall prevent the Development Officer or Municipal Planning Commission, as applicable, from issuing a development permit or approving a subdivision if the Development Officer or Municipal Planning Commission is satisfied that there is no risk to persons or property or that these concerns will be met by appropriate engineering measures or other mitigating measures and approvals from provincial and/or federal agencies have been obtained, as applicable.

SECTION 22 NUMBER OF DWELLING UNITS ON A PARCEL

22.1 No more than one dwelling unit shall be constructed or located or caused to be constructed or located on a parcel except as provided for in the land use district for which the application is made (e.g. accessory dwelling unit, two-unit dwellings, multi-unit dwellings or dwelling group) as permitted in the applicable land use district.

SECTION 23 NON-CONFORMING BUILDINGS AND USES

23.1 If a development permit has been issued on or before the day on which this bylaw or a land use amendment bylaw comes into force in a municipality and the bylaw would make the development in respect of which the permit was issued a non-conforming use or non-conforming building, the development permit continues in effect in spite of the coming into force of the bylaw.

23.2 A non-conforming use of land or a building may be continued but if that use is discontinued for a period of six consecutive months or more, any future use of the land or building must conform with the Land Use Bylaw then in effect.

23.3 A non-conforming use of part of a building may be extended throughout the building but the building, whether or not it is a non-conforming building, may not be enlarged or added to and no structural alterations shall be made to it or in it.

23.4 A non-conforming use of part of a lot may not be extended or transferred in whole or in part to any other part of the lot and no additional buildings may be constructed on the lot while the non-conforming use continues.

23.5 A non-conforming building may continue to be used but the building may not be enlarged, added to, rebuilt or structurally altered except:

- (a) to make it a conforming building; or
- (b) as the Development Officer considers necessary for the routine maintenance of the building, in accordance with the variance powers provided for in section 643(5)(c) of the MGA. Routine maintenance of the building may include the replacement of windows and doors, or adding attached uncovered steps.

23.6 If a non-conforming building is damaged or destroyed by more than 75% of the value of the building above its foundation, the building may not be repaired or rebuilt except in accordance with this bylaw.

RESIDENTIAL – R1

SECTION 1 PURPOSE

- 1.1 To provide for a high quality residential environment with an appropriate range of housing types that comply with standards outlined in the Residential land use district.

SECTION 2 USES

2.1 Permitted Uses

Accessory building less than 83.6 m² (900 ft²) (See Sec. 5)
 Accessory structure
 Accessory use
 Addition to dwelling
 Alternative energy, roof mounted solar system (See Sch. 5, Sec. 2)
 Dwelling, Single unit
 Home occupation, minor (See Sch. 5, Sec. 6)
 Shipping container, temporary (See Sch. 5, Sec. 9.10)

2.2 Discretionary Uses

Accessory building greater than 83.6 m² (900 ft²) (See Sec. 5)
 Accessory dwelling unit (See Sch. 5, Sec. 1)
 Alternative energy, freestanding solar system (See Sch. 5, Sec. 2)
 Childcare facility (See Sch. 5, Sec. 4)
 Dwelling group
 Dwelling, Moved-in: (See Sch. 5, Sec. 7)

- Manufactured home
- Modular home
- Previously occupied dwelling
- Ready-to-move home

 Home occupation, major (See Sch. 5, Sec. 6)
 Moved-in building (See Sch. 5, Sec. 8)
 Multi-unit dwelling:

- Two, three or four-unit
- Row house
- Apartment

 Parks and playgrounds
 Tourist home (See Sch. 5, Sec. 11)

SECTION 3 MINIMUM LOT SIZE

3.1 Minimum lot sizes for subdivision and development purposes are as follows:

Use	Width		Length		Area	
	m	ft	m	ft	m ²	ft ²
Dwelling: Single Dwelling Moved-in Dwelling	38.1	125	36.6	120	1394.0	15,000
Multi-unit Dwelling <i>* or greater as required by the MUNICIPAL PLANNING COMMISSION</i>	38.1*	125*	36.6*	120*	1394.0*	15,000*
All other uses	As required by the Municipal Planning Commission					

SECTION 4 MINIMUM SETBACKS

4.1 Minimum setbacks are as follows:

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft	m	ft	m	ft	m	ft
All Dwellings:	7.6	25	3.8	12.5	3.8	12.5	7.6	25
Accessory building, exempt shed	7.6	25	3.8	12.5	0.9	3	0.6	2
Subsequent accessory buildings	7.6	25	3.8	12.5	0.9	3	0.6	2
Accessory building, detached garage	7.6	25	3.8	12.5	0.9	3	0.6	2
All other uses	As required by the Municipal Planning Commission							

4.2 The Development Officer or Municipal Planning Commission may require increased building setbacks if such setbacks would:

- (a) help avoid land use conflict; or
- (b) enhance the appearance of the area; or
- (c) avoid existing registered easements.

4.3 The Development Officer or Municipal Planning Commission may waive the building setback requirement in a well-established residential area if, in his or their opinion, the setback is in accordance with the prevailing yard pattern within the parameters of the authorized waiver limits.

4.4 The following features may, subject to the relevant provisions of Safety Codes, project into the required setbacks under this bylaw:

- (a) eaves, fireplaces, belt courses, bay windows, cornices, sills or other similar architectural features attached to the principal dwelling may project over a side setback as permitted under the relevant provisions of Safety Codes and over a front or rear setback a distance not to exceed 1.2 m (4 ft);

- (b) unenclosed steps or unenclosed fire escapes, wheelchair ramp, fences or walls to the property line, driveways, curbs and sidewalks, off-street parking, cooling units not to exceed 0.9 m (3 ft), mailboxes, landscaping, fish ponds, ornaments, flagpoles (less than 4.6 m (15 ft) in height), temporary swimming pools and signs may project over a side, front or rear setback at the discretion of the Development Officer or the Municipal Subdivision and Development Authority.

- 4.5 Where a laneway or roadway has reduced the size of a lot by cutting off a corner of the lot, the minimum setback requirements shall apply to the portions of the lot that have not been cut-off by the laneway or roadway.

SECTION 5 MAXIMUM SITE COVERAGE

- 5.1 Total lot coverage – 40%
(Inclusive of dwelling and attached garage)
- 5.2 Accessory buildings – The combined total of all accessory buildings (shed, garages, accessory buildings) shall cover not more than 15% of the surface area of a lot.
- 5.3 Other developments shall be at the discretion of the Municipal Planning Commission

SECTION 6 MINIMUM FLOOR AREA

- 6.1 Minimum main floor area:
- (a) One-unit dwelling – 74.3 m² (800 ft²)
- (b) Two-unit dwelling – 148.6 m² (1600 ft² - minimum of 800 ft² per unit)
- (c) Manufactured home – 74.3 m² (800 ft²)
- (d) All other uses – As required by the Municipal Planning Commission or Development Officer
- 6.2 The total floor area of any accessory building and/or attached garage should be less than the main floor area of the principal building.

SECTION 7 MAXIMUM BUILDING HEIGHT

- 7.1 Maximum building height:
- (a) Principal building – 8.5 m (28 ft)
- (b) Accessory structures – 4.9 m (16 ft)
- (c) Accessory buildings
- 16 feet (4.9 m) on lands of 0.5 acres (0.2 ha) or less in size
 - 22 feet (6.7 m) on lands between 0.5 and 10 acres (0.2 and 4.0 ha)
 - at the discretion of the Municipal Planning Commission on lands of 10 acres (4.0 ha) or greater in size

SECTION 8 ACCESSORY BUILDINGS AND STRUCTURES

- 8.1 Where a structure is attached to the principal building on a site by a roof, an open or enclosed structure, a floor or foundation, it is to be considered a part of the principal building and is not an accessory building.
- 8.2 No accessory building, structure or use shall be allowed:
- (a) on a lot without an approved principal dwelling or use,
 - (b) to be located in the front yard of the principal structure.
- 8.3 The height of an accessory building in a residential land use district shall:
- (a) not exceed 16 feet (4.9 m) on lands of 0.5 acres (0.2 ha) or less in size,
 - (b) not exceed 22 feet (6.7 m) on lands between 0.5 and 10 acres (0.2 and 4.0 ha),
 - (c) be at the discretion of the Municipal Planning Commission on lands of 10 acres (4.0 ha) or greater in size.
- 8.4 The first accessory building, which is 9.3 m² (100 ft²) or less in area, placed on a lot does not require a development permit if there is an established principal use, but any second or subsequent accessory building shall require a development permit and the Development Authority may limit the number of accessory buildings on a lot.
- 8.5 Accessory buildings, structures and uses that are not specifically included within a development permit require a separate development permit application.
- 8.6 Detached garages shall have a minimum separation of 1.2 m (4 ft) from the foundation of any dwellings or buildings and a minimum of 0.6 m (2 ft) from the roof overhang of a dwelling or structure.
- 8.7 Accessory buildings and structures shall be set back from a side lot line or rear lot line and all drainage is conducted to the appropriate storm drain via the applicant's own property.
- 8.8 As a condition of a permit, if a development approval is required, the Development Authority may stipulate specific requirements for the type of foundation, fastening or tie-down system, finish, colour, roof pitch, and materials to be applied to the accessory building or structure.

SECTION 9 OFF-STREET PARKING REQUIREMENTS

- 9.1 Maximum building height:
- (a) Dwellings – Two spaces per dwelling unit
 - (b) All other uses – as required by the Municipal Planning Commission

SECTION 10 DESIGN APPROVAL

- 10.1 Before approving any application for development in this land use district, due consideration shall be given to any design guidelines or policies that may have been adopted by Council.

SECTION 11 STANDARDS OF DEVELOPMENT – See Schedule 4

SECTION 12 USE SPECIFIC STANDARDS OF DEVELOPMENT – See Schedule 5

SECTION 13 DEFINITIONS – See Schedule 6



SECTION 5

DWELLING GROUP

- 5.1 Design of the dwelling group shall consider the height, building design and nature of surrounding residential development.
- 5.2 The arrangement of the structures in a dwelling group is subject to the approval of the Municipal Planning Commission and the requirements of the Alberta Building Code, as amended.
- 5.3 A minimum 1.5 m (5 ft) wide landscaped buffer strip is required between the parking lot and an adjacent residential lot. The Development Authority, depending on the intensity of the development, may increase the minimum required width of the landscaped buffer strip.
- 5.4 The Development Authority may regulate the maximum density of apartments and multi-unit dwellings within a block or subdivision based on the policies of the Municipal Development Plan and consideration of:
 - (a) density of existing development within the block;
 - (b) adequacy and proximity of community facilities such as schools, shopping, recreational facilities and open space;
 - (c) adequacy of utilities to accommodate the proposed use;
 - (d) impacts on future land uses and the street system; and
 - (e) any other matters deemed pertinent by the Development Authority.

SECTION 6

HOME OCCUPATIONS

- 6.1 For the purpose of this bylaw, the following classes shall be used to distinguish various home occupations:
 - (a) **Home Occupation, minor** involves the establishment of an in-home office, phone and no more than one commercial vehicle, and may include one or more of the following:
 - (i) an exterior identification sign,
 - (ii) an in-home retail sales area,
 - (iii) a maximum of 3 clients visits per day.
 - (b) **Home Occupation, major** involves any non-residential activities which originate from a dwelling, an attached or unattached accessory building which include the manufacturing, processing, assembly, packaging, storage, warehousing, shipping, wholesale distribution and/or retail sales of goods or services which provided from the residential property.
 - (c) Where any doubt arises in determining the home occupation classification, the matter may be referred to the Municipal Planning Commission for clarification and whose decision shall prevail.
- 6.2 The following standards apply to both Home Occupation Minor and Major:
 - (a) The business operator must be a full-time resident of the home.
 - (b) No variation in the residential character and appearance of the dwelling, accessory building, or land shall be permitted.

- (c) The use shall not generate more vehicular or pedestrian traffic and vehicular parking than normal within the district.
- (d) No commercial vehicle of a capacity greater than 907 kg (1 ton) shall be parked or maintained on a public road right-of-way or lane.
- (e) No offensive noise, vibration, electrical interference, smoke, dust, odours, heat or glare shall be produced by the use.
- (f) No use shall cause an increase in the demand placed on any one or more utilities (water, sewer, garbage, etc.) such that the combined total consumption for a dwelling and its home occupation exceed the normal demand for residences in the area.
- (g) No use requiring electrical or mechanical equipment shall cause a fire rating change in the structure or the district in which the home occupation is located.
- (h) The approved use shall be valid only for the period of time the property is occupied by the applicant for such approved use.
- (i) All permits issued for home occupations shall be subject to the conditions that the permit may be revoked at any time, if, in the opinion of the Municipal Planning Commission, the use is or has become detrimental to the residential character or the amenities of the neighbourhood.
- (j) Home occupations shall not include:
 - (i) activities that use or store hazardous materials;
 - (ii) any use that would, in the opinion of the Municipal Planning Commission, materially interfere with or affect the use, enjoyment or value of neighbouring properties;
 - (iii) any use declared by resolution of Council to be undesirable as a home occupation.
- (k) Only one home occupation shall be permitted per parcel.
- (l) Signage advertising a Home Occupation is limited to one sign located in the structure window up to a maximum of 0.4 m² (4 ft²) in size.

6.3 In addition to the general standards, the following standards shall apply to Home Occupation Major permits:

- (a) A maximum of one non-resident employee is allowed. For the purposes of this provision, a non-resident employee is someone who does not live at the home.
- (b) Outdoor storage shall be screened from adjacent properties and the public view.
- (c) Customer and employee parking, in addition to the parking requirements for residential use, may be required.
- (d) The number of customer visits and hours of operation may be limited by the Municipal Planning Commission to minimize impacts on surrounding residential uses.
- (e) The home occupation shall not be permitted if, in the opinion of the Municipal Planning Commission, the use would be more appropriately located within a commercial or industrial district.

SECTION 7 MOVED IN DWELLINGS

7.1 For the purpose of this bylaw, the following classes shall be used to distinguish various dwelling types that are not constructed on site.

Manufactured Homes Standards

- 7.2 The following criteria applies to eligible manufactured homes:
- (a) New factory-built units.
 - (b) Used factory-built units in a good state of repair (to the satisfaction of the Municipal Planning Commission). Any application for a development permit to locate a used manufactured home shall include recent colour photographs of all elevations including additions; and may require a personal inspection by the Development Officer to determine the unit's suitability.
 - (c) Canadian Standards Association (CSA) certified units or units bearing the Alberta Building Label (CSA A-277 or Z-240 building labels).
- 7.3 The Development Officer or Subdivision and Development Authority may require a bond or irrevocable letter of credit of a minimum \$5000.00 to a maximum value of up to 50 percent of the assessed value of the building to ensure the conditions of the development permit for a principal building are met.
- 7.4 All single-wide manufactured homes shall be skirted with compatible materials and satisfactorily enclosed to the satisfaction of the Development Officer.
- 7.5 All manufactured home additions shall be of a design and finish which will complement the unit.
- 7.6 The wheels, hitches and other running gear shall be removed from a manufactured home immediately after the placement of the home.
- 7.7 The yard area of each lot shall be developed and landscaped.

Modular Homes Standards

- 7.8 The approval authority shall issue a development permit for a modular or ready-to-move (RTM) home provided that:
- (a) the dwelling is a factory-built unit that meets the manufactured housing industry and CSA standards and the building code;
 - (b) the dwelling is securely fastened and placed on a basement/slab or other acceptable foundation;
 - (c) the minimum roof pitch shall not be less than a 4/12 pitch;
 - (d) the minimum floor area of the principal dwelling not including attached garage shall not be less than 92.9 m² (1000 ft²);
 - (e) the dwelling shall be a minimum 7.3 m (24 ft) in width and not greater than 20.0 m (66 ft) in length;
 - (f) the unit is CSA certified (meets CSA A-277 Standards) and will meet all safety code requirements;
 - (g) the design, character, and appearance (including roof lines/material and exterior finish) of modular homes shall be consistent with the purpose of the district in which the building is located and shall take into account any other buildings existing in the vicinity;
 - (h) at the discretion of the Development Officer or the Municipal Planning Commission, the exterior finish, colour and roofing material may be stipulated as a condition of approval;
 - (i) the dwelling shall conform to any architectural controls that may apply.



B.62-485-0590
FEB 1st / 24

VILLAGE OF HILL SPRING
APPLICATION FOR A DEVELOPMENT PERMIT

SCHEDULE 11

Form A

APPLICATION NO. DP-2023-R1-08

APPLICANT: Uoman Rashan
REGISTERED OWNER: Uoman Rashan
ADDRESS: 12E 3rd Ave South, Hill Spring, TX 75116
Legal Description: Lot(s) 2 Block 3 Plan 37080
Street Address: 12E 3rd Ave South, Hill Spring, TX 75116
Proposed Development: Residential Commercial _____ New _____
Addition _____ Remodelling _____ Other _____
(Specify)

PARTICULARS OF PROPOSED DEVELOPMENT

Estimated Completion Date Feb 1st 2024 Building Grades _____
Lot Dimensions: Width _____ Length _____ Area _____
Building Dimensions: Width 16 ft Length 60 ft Area 960 sq ft
Setback: Front Yard _____ Side Yard _____ Rear Yard _____

OTHER DETAILS: (use reverse if necessary)

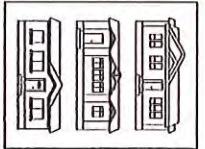
- ① Blueprint / layout of new home on lot
- ② Location of home on lot
- ③ New home details
- ④ New home foundation
- ⑤ Demolition, foundation, power, plumbing quote
- ⑥ Receipt from M&K for the current home on lot
- ⑦ Current home layout from M&K home

I have submitted particulars concerning the completion of the proposed development and agree to comply in all respects with any conditions that may be attached to any development permit that is issued and with any other bylaws that are applicable. I am aware that I may be required to pay for all local improvement costs, which include drainage, sidewalks, road base preparation, street lighting, water and sewer main extensions, utility connection fees and installation costs at the present established rate.

I have read and understand the terms noted on the reverse side of this form and hereby apply for permission to carry out the development described above and/or on the attached plans and specifications. I further certify that the owner of the land described above is aware of this application.

DATE: 11/20/23 SIGNED: [Signature]
Applicant

IMPORTANT: (see over)

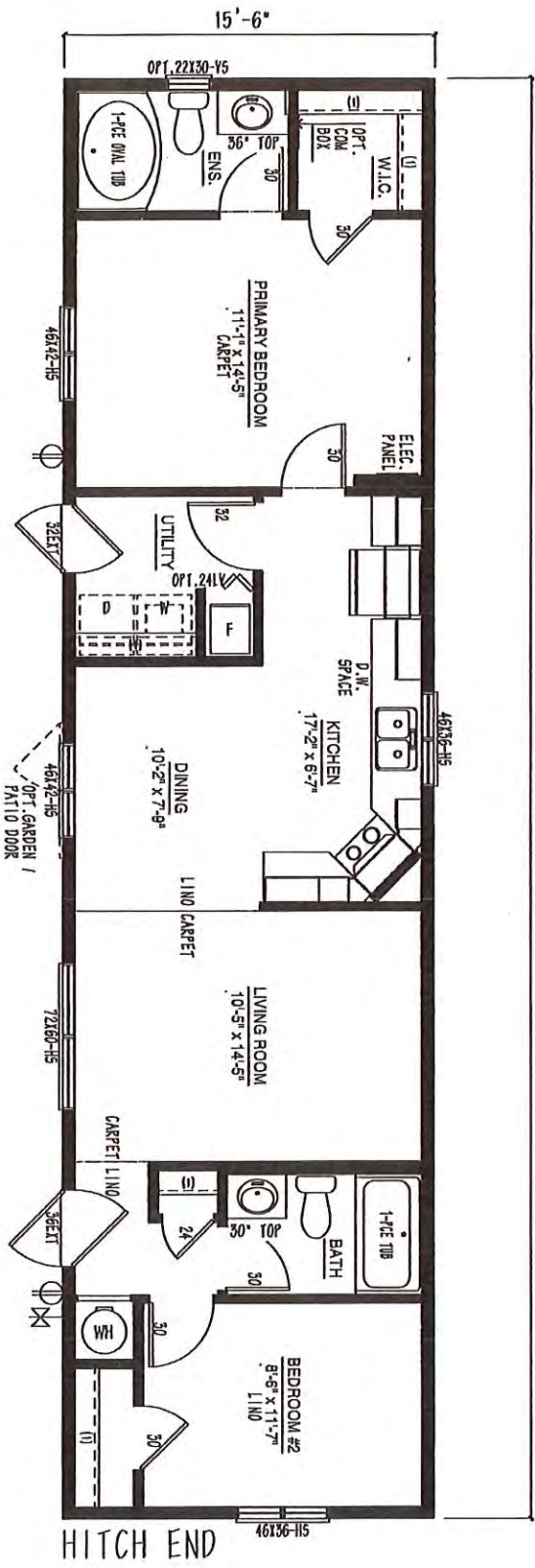


Meridian

MRD1660-316-C-1

960	2	2
Square Feet	Bedrooms	Bathroom

New home layout



M&K Lethbridge
 2930 Fairway St. South
 Lethbridge, AB T1K 6T9
 Phone 403-329-0622
 Toll-Free 1-800-334-7059

For more information, visit our website:
WWW.MANDKHOME SALES.COM

M&K Red Deer
 7920 50th Ave.
 Red Deer, AB T4P 3N4
 Phone 403-346-6116
 Toll-Free 1-800-204-559

2

Location of new home on lot
(The current old house will be demolished)

Current home
is on lot
also from
Milk
Planes



Google

12E

Range Rd 275D

MERIDIAN

16'(15'-6"), 18', 20', 22' & 24' SERIES

Built to the Residential CSA, A-277 standards

CONSTRUCTION STANDARDS

4/12 roof pitch
Residential, maintenance-free vinyl siding
Lifetime Warranty* shingles w/full underlayment
Tubular steel frame with hitch 16', 18', 20'
Engineered wood web floor truss system 22' & 24'
16', 18' & 20' wide - Floor joists: 2 x 10 @ 16" o/c
Exterior wall sheathing (glued & fastened)
Colored metal soffit & fascia
Triple M rigid exterior wall system
Frost-free exterior tap
Dedicated receptacle for heat tape at kitchen sink
23/32" floor sheathing (glued & fastened)
8' walls
2x6 exterior walls / 2x4 interior walls
Tyvek exterior wrap
Insulation:
Ceiling: R-60 Flat / R32 Cathedral
Floor: R-40
Walls: R-22
½" stippled gyproc ceilings
Vaulted ceiling – living room, dining room,
kitchen & family room (plan specific)
Digital programable thermostat
Carpet with upgrade underlay in living
room and primary bedroom
Foam-back linoleum (fully glued & rolled)
Convertible gas furnace with electronic ignition
Coil cavity under furnace
40 US gallon electric HWT
Plumbed for washer, wired for dryer
100 amp electric service panel
1-½" conduit from draw side of panel through floor
36" front and 32" rear exterior doors w/ screens
White Carrara interior doors
32" utility room door
Standard Carriage Light at all exterior doors
Exterior GFI Receptacle at all exterior doors
Main water shut-off inside home at kitchen sink
Braided water lines at sinks & toilets

DISTINCTIVE STANDARD FEATURES

Low E Argon windows & sills complete w/screens
12" side eave with venting
4" accent boards around windows
(Front & Curbside)
Decorative wall panels with taped seams
Nail holes in trim filled
Cordless cellular blinds throughout
Décora Switches
River Dinette Light in Dining Room (plan specific)
LED lighting throughout
Continuous rod shelving in closet

MODERN CRAFTED KITCHENS

Black 30" ceran-top range with power range hood
Black 18cft fridge
Adjustable track lighting (2)
Modular cabinets with adjustable shelving
Spacious pantry in kitchen (where applicable)
PVC cabinet doors throughout
Laminate countertops with self-edge
Tight weave pantry shelving
Single lever faucet with spray

CONTEMPORARY BATHS

De-humidistat on main bath fan, all other fans
on separate switch
1-Piece smooth back oval tub/shower combination
in ensuite (plan specific)
1-Piece smooth back tub/shower combination in
main bath

OPTIONAL FEATURES

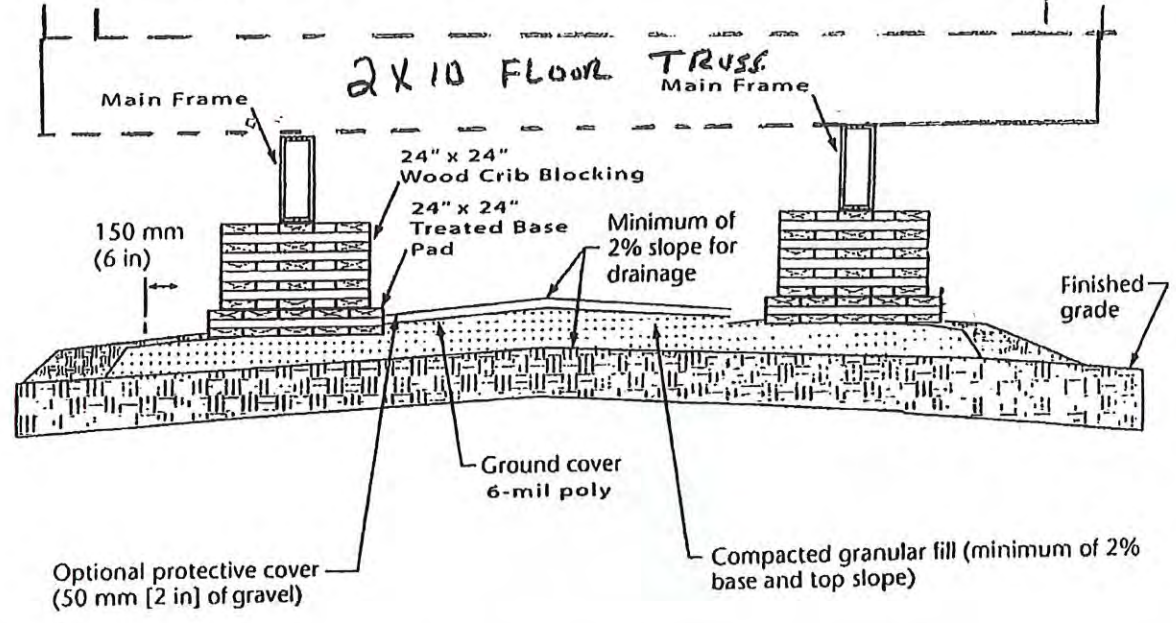
- White laminate glass pantry door
- Garden doors
- Insulated storm doors
- 16" overhang at rear
- A/C ready
- Full tile backsplash with decor insert
- Stainless steel appliances
- Cabinet crown molding
- 200 Amp electrical service
- PVC cove mould at ceiling
- Upgrade lighting options
- Black slider windows

(4)

New home foundation HOME

(4)

Site Preparation for Manufactured Homes Blocked on ground, Cement Piles, or Engineered Screw Piles



Notes:

- (1) The ground cover extends at least 150 mm (6 in) past the sides of the manufactured home.
- (2) The backfill base and ground cover are graded centre to outside or from side to side with a minimum slope of 2%.
- (3) The surrounding finished grade slopes away from the home.

The top soil and all organic material shall be removed from the site below the manufactured home location.

The base of the excavated site area shall be graded from the center to the outside, or from side to side and filled with gravel or other suitable granular inorganic material to a level above the surrounding finishing grade.

A CGSB 6-mil poly ground cover sheet shall be placed over the entire area below the home and shall extend 6 inches beyond the perimeter and any joints must be overlapped at least 4 inches and be weighted down.



1-800-334-7059
(403) 329-0622

2930 Fairway Street South
Lethbridge, Alberta

www.mandkhomesales.com
Email: info@mandkhomesales.com

1-800-204-5598
(403) 346-6116

7920 50th Avenue
Red Deer, Alberta

https://mail.google.com/mail/u/0/#inbox/FMfcwvGwHhPFW7MCTXSSzVKSpxmBbV?projector=1&messagePartId=0.1

6) Current home on lot also from M&K Homes

11/20/23, 5:02 PM

6

IMG_8512.jpg

M&K Home Sales Ltd. Agreement Date February 13, 2010
 2930 Fairway Street South
 Lethbridge, Alberta
 T1K 6T9 Phone: (403) 329-0622 Fax: (403) 320-9932
 Email: info@mandkhomesales.com

Purchase Agreement

Customer Information		Home Information	
Customer will hereinafter be called "The Purchaser"			
Name	Gary & Roxanne Kelner	Make	Triple M
Address	General Delivery <u>Box 106</u>	New/Used	New
	Hill Spring, AB	Model	NEW6430-24C
	TOK-1E0	Serial #	
Phone Number: Res.	Cellular	Approx. Possession Date	CSA#
	(403) 627-6536		AB Labour#
Email		Delivery Details (Include Legal Land Details)	
		Hillspring, AB- Details to follow	

We hereby agree to purchase from M&K Home Sales (hereinafter called "The Vendor") the above described home in accordance with the conditions below.

Conditions and Notations

M&K Homes responsibility:
 Deliver home to customer location above.
 Secure home to customer supplied foundation.
 Finish exterior and interior of home from the floor up including the final coat of paint.
 Home includes options as outlined on hardcard (W/A prices will be adjusted on cost adjustment sheet)
 Included is a 10-year major structural warranty of which the first year is all inclusive
 Home will be cleaned prior to occupancy

Customer responsibility:
 Providing adequate access to site for home
 Obtaining all building and development permits
 Screw piles for foundation
 Skirting of home
 All services to home as well as hook up of services
 Eavestroughing as well as exterior stairs
 Insurance for home in effect for day of home arrival

Payment of home:
 10% down to order home
 Letter of Monies in trust for full balance payout (WAWANESA INSURANCE)
 Full payment to be received once home is set on foundation

Note: Customer will be receiving a rebate check in the amount of \$3500.00 directly from Triple M Housing upon walk thru completion and Warranty papers being submitted.

Base price of home \$212,700.00, option total \$16,742.00- Home total \$229,442.00 less \$2000.00 M&K Promotion

For additional options and conditions see Schedule "B" Attached

Sale Price	\$227,442.00
G.S.T. 5% (103724241RP001)	\$11,372.10
Sub Total	\$238,814.10
G.S.T. Rebate Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	\$4,093.96
Sub Total	\$234,720.14
Deposit	\$22,750.00
Trade Allowance <input type="checkbox"/>	\$0.00
Total Down Payment	\$22,750.00
Unpaid Balance	\$211,970.14

This agreement and any other schedule, addendum or amendment hereto is not binding on the retailer unless signed by a manager. No other agreement verbal or otherwise will be considered other than specified unless approved by a manager's signature. Please read contract over carefully as only items shown are included in price. The home will remain the property of the Vendor and the Purchaser(s) will not take possession or move into the home until payment has been made in full.

We have read the information and agree to comply with the terms and conditions of this agreement

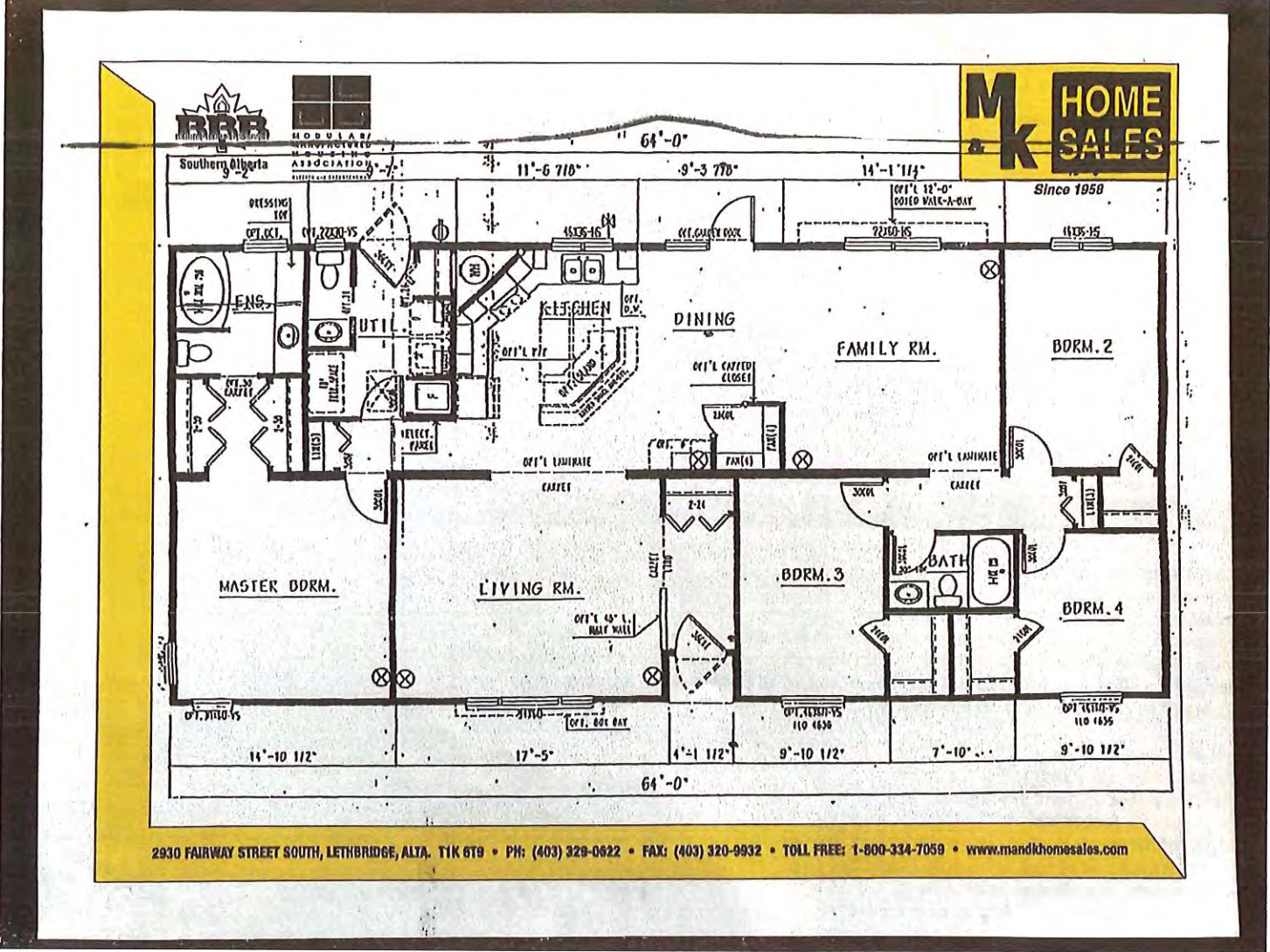
Purchaser Gary & Roxanne Kelner Co-Purchaser Roxanne Kelner

Sales Person Shelley Kasher

Manager Approval _____ Date Feb 13/2010

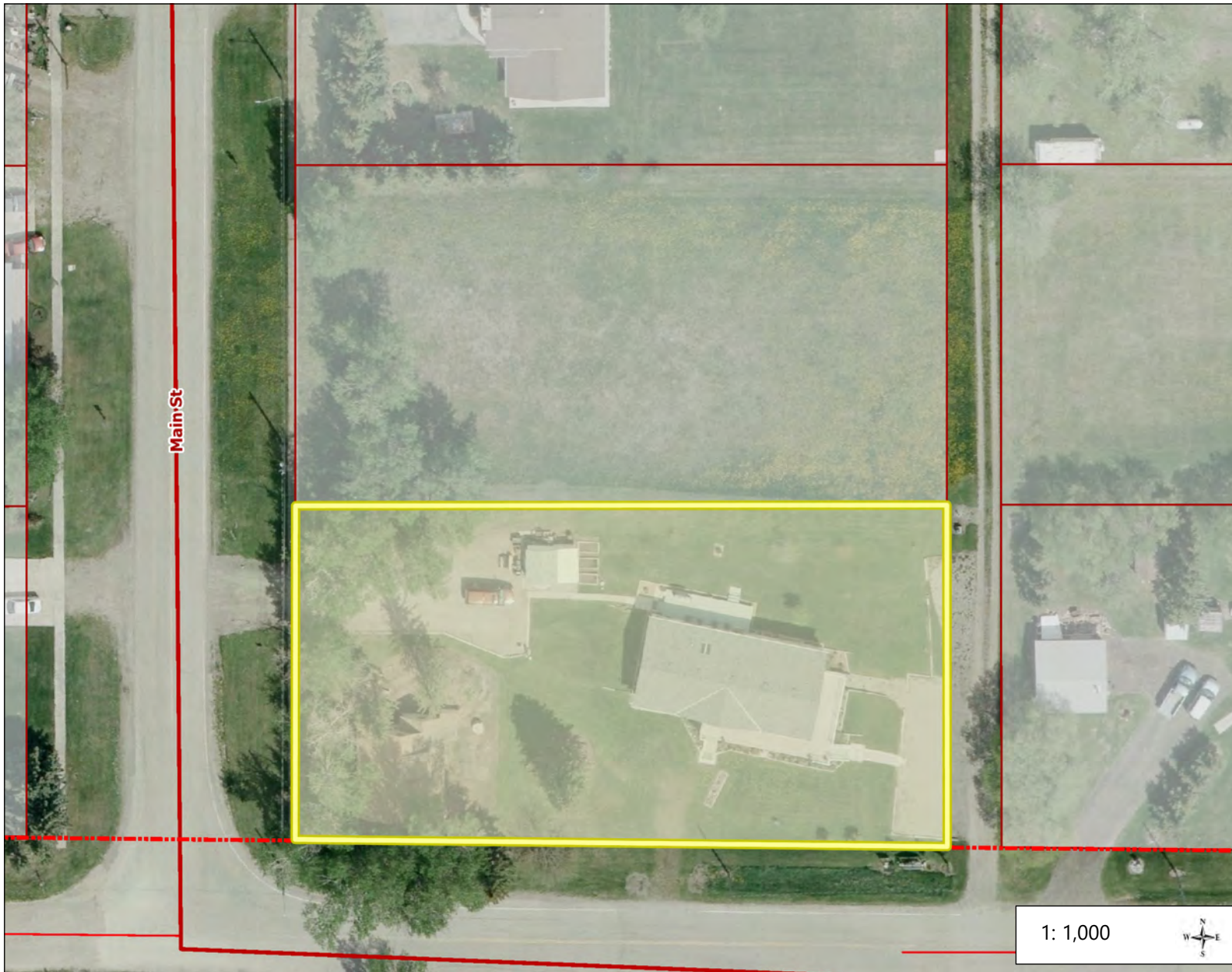
See Schedule "A" for Payment Terms

*Please ensure to have customer sign a GST return form. Also it is very important to check the YES box again after any changes to the Sale Price to recalculate the correct GST Rebate.



(7) Current home on lot from the same
 same home company M&K Homes (7)

Village of Hill Spring



Legend

- Boundary
- 900 Highway 800 Symbol
- Highway 800
- Adjacent Roads
- Road Labels
- Water Plant
- Streams
- Reservoir
- Canals
- Lakes
- ▨ Closed Roads
- Title Linework
- Parcels

1: 1,000



0.1 0 0.03 0.1 Kilometers

WGS_1984_Web_Mercator_Auxiliary_Sphere
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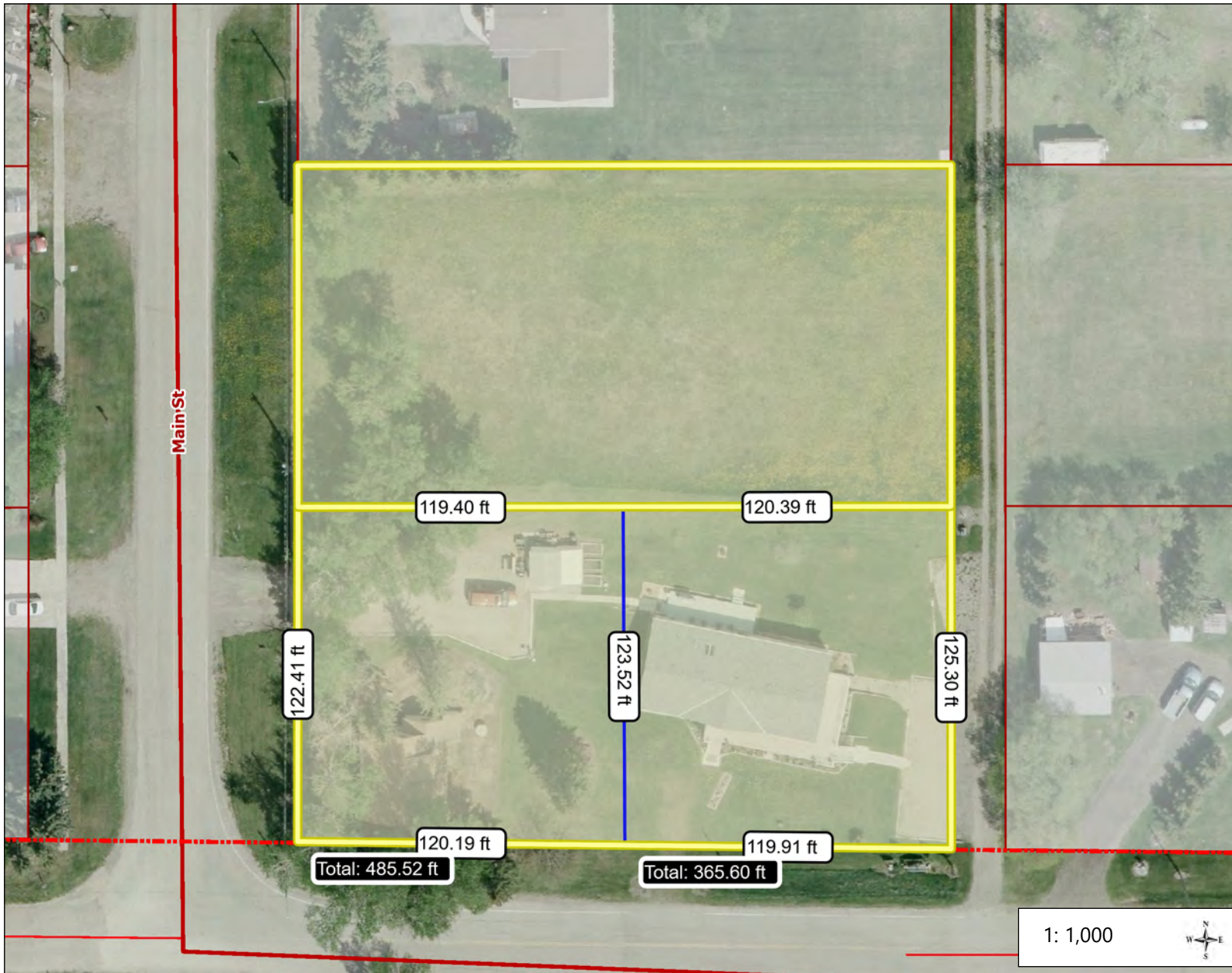
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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

© Village of Hill Spring

Village of Hill Spring



Legend

- Boundary
- Highway 800 Symbol
- Highway 800
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- Closed Roads
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- Parcels

POTENTIAL SUBDIVISION MAP
 (LOT SPLIT IN HALF WOULD MEET MINIMUM LOT SIZES)

Notes

© Village of Hill Spring

0.1 0 0.03 0.1 Kilometers

WGS_1984_Web_Mercator_Auxiliary_Sphere
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2 Ave S

2 Ave S

2 Ave S

2 Ave S

2 Ave S

Main St

baño público

Hill Spring
Community Centre

New home dimensions
are 60 x 15.4 ft. It will
be placed 30 ft from
the Main st sidewalk
and 26.5 ft from the
south boundary line.

30 ft

26.5 ft

800

800

3 Ave S

1 St E

1 St E

1 St E

1 St E

3 Ave S

3

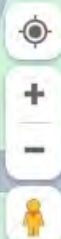
Range Rd 27/5B

Ave S

Township Rd 42

3 Ave S

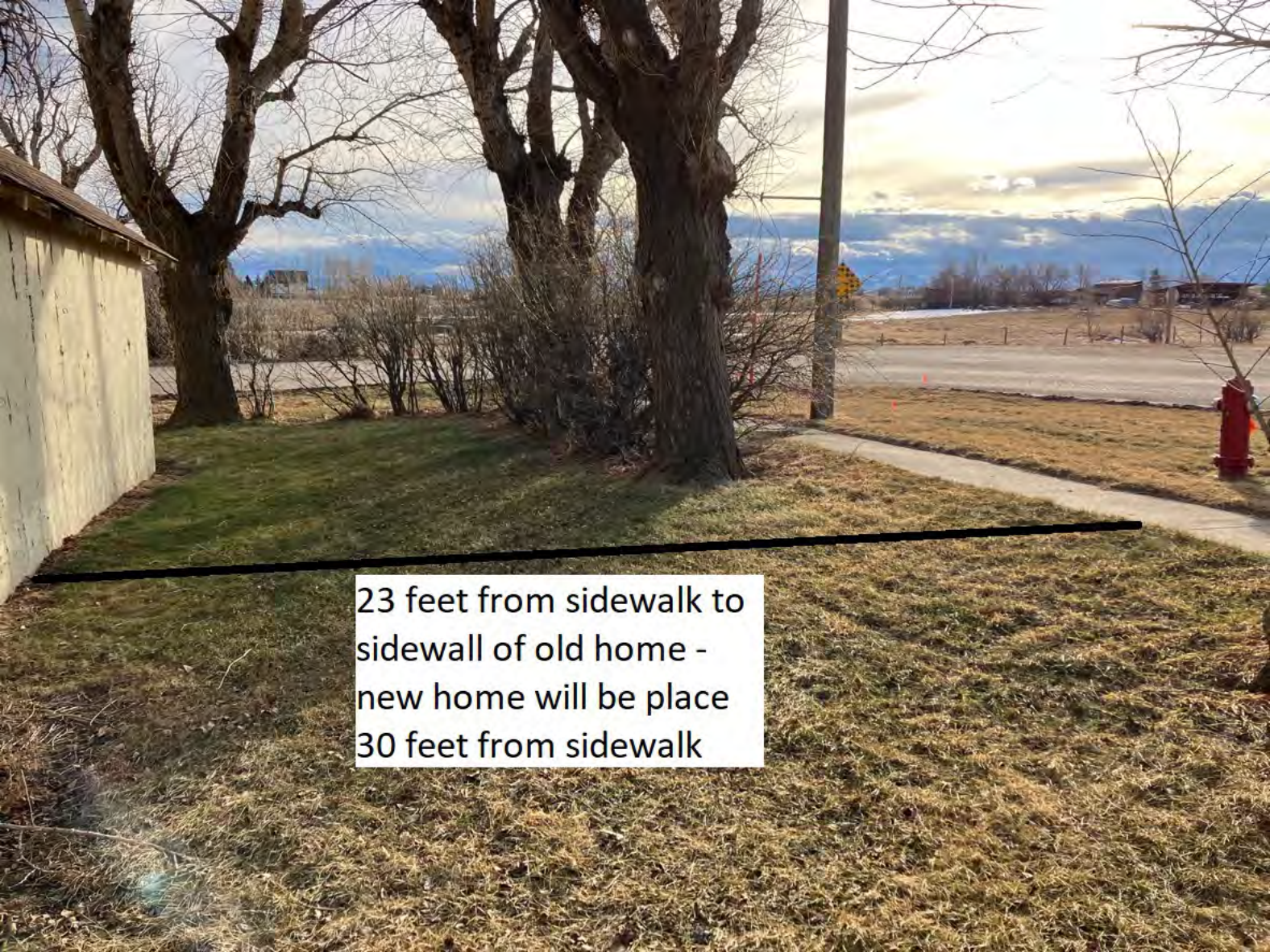
Google



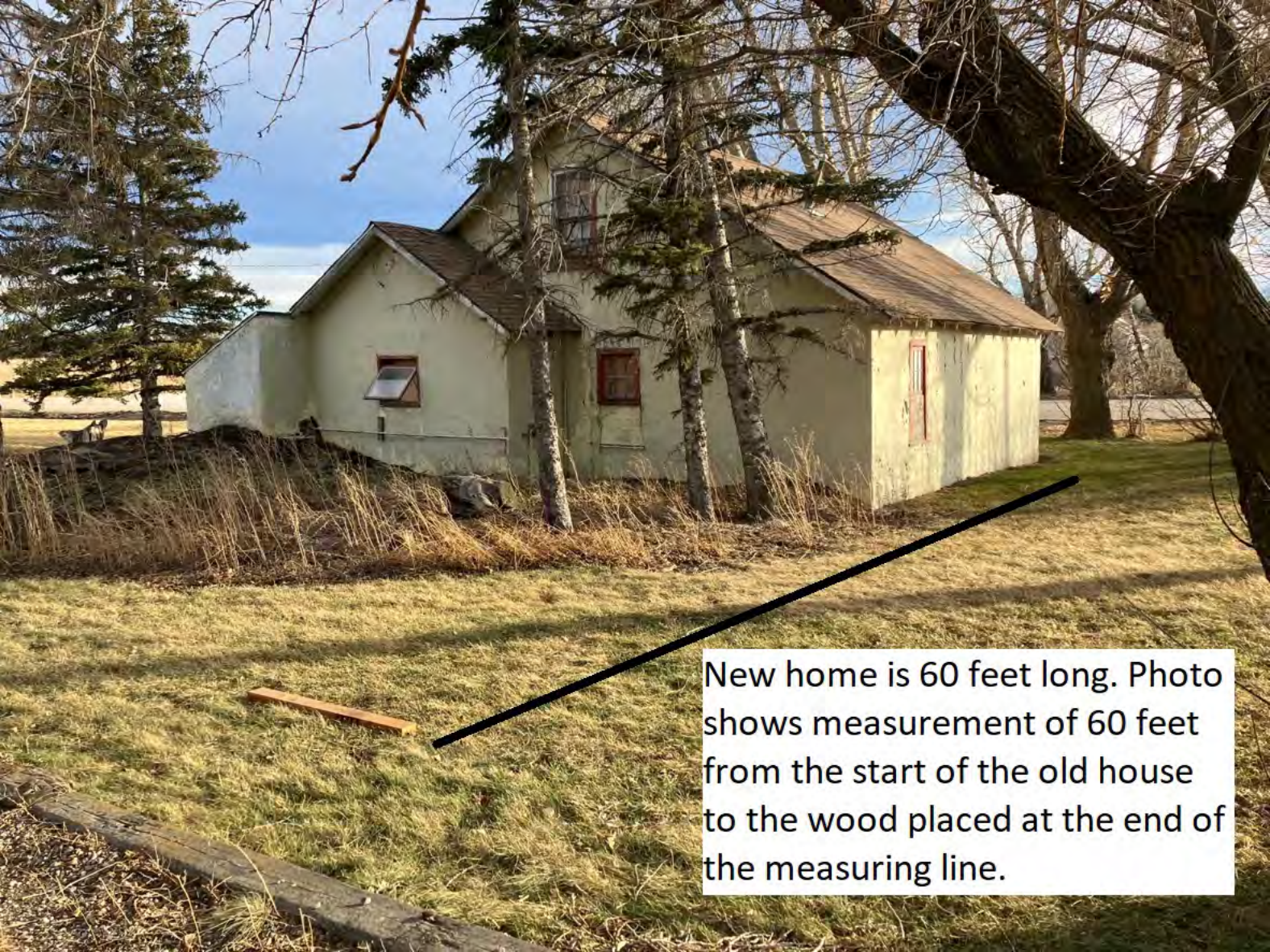


26.5 feet from
boundary marker to
steps of old home

New home will be
placed same
distance



23 feet from sidewalk to
sidewall of old home -
new home will be place
30 feet from sidewalk



New home is 60 feet long. Photo shows measurement of 60 feet from the start of the old house to the wood placed at the end of the measuring line.